

HRGreen

420 N. Front Street,
McHenry, IL 60050-2136
t. 815.385.1778 f. 815.385.1781
www.hrgreen.com

PLAT OF SURVEY

COMP. FILE: 86110158-pos.dwg
PLOT FILE: STANDARD
VIEW: Plot of Survey

LEGAL DESCRIPTION

Part of the East 1/4 of the Southeast 1/4 of Section 25

The East Half of the Southeast Quarter of Section 25, Township 1 North, Range 18 East of the Fourth Principal Meridian; EXCEPTING therefrom Certified Survey Map 3456 recorded as Document Number 516727, Village of Genoa City, Walworth County, Wisconsin.

Part of the NW 1/4 of SE 1/4 of Section 25

Being all that part of the Northwest Quarter of the Southeast Quarter of Section 25, Township 1 North, Range 18 East of the Fourth Principal Meridian, in the Village of Genoa City, Walworth County, Wisconsin, being bounded and described as follows: Commencing at the center of said Section 25; thence South of the west line of the Southeast Quarter of said Section 25, South 00 degrees 11 minutes 55 seconds West, a distance 50.00 feet to the point of beginning; thence continuing South 00 degrees 11 minutes 55 seconds West, a distance of 1275.96 feet to a point; thence South 89 degrees 49 minutes 51 seconds East, a distance of 1322.59 feet to a point; thence North 00 degrees 10 minutes 24 seconds East, a distance of 1326.63 feet to a point on the north line of the Southeast Quarter of said Section 25; thence South 00 degrees 08 minutes 25 seconds West, a distance of 50.00 feet to a point; thence North 89 degrees 51 minutes 35 seconds West, a distance of 245.10 feet to the point of beginning; EXCEPTING therefrom the lands lying within Corporate Ridge, Western according to the plat thereof recorded in Cabinet C of Plats, Slides 110 thru 111, as Document Number 494589, being a part of the Northwest Quarter of the Southeast Quarter and part of the Southwest Quarter of said Section 25; ALSO EXCEPTING the lands lying within the dedicated right of way of Williams Road and Corporate Drive per the plat of Corporate Ridge Phase 1, according to the plat thereof recorded in Cabinet C of Plats, Slides 50 thru 53, as Document Number 432918, being a part of the Northwest Quarter of the Southeast Quarter and part of the Southwest Quarter of the Southeast Quarter of said Section 25 and part of the Northwest Quarter of the Northeast Quarter, part of the Southwest Quarter of the Northeast Quarter and part of the Northeast Quarter of the Northeast Quarter of Section 36, all in Township 1 North, Range 18 East of the Fourth Principal Meridian, Village of Genoa City, Walworth County, Wisconsin.

Part of the SW 1/4 of SE 1/4 of Section 25

That part of the Southwest Quarter of the Southeast Quarter of Section 25, in Township 1 North, Range 18 East of the Fourth Principal Meridian, Walworth County, Wisconsin, lying easterly of the easterly right of way line of Corporate Drive per Corporate Ridge Phase 1 according to the plat thereof recorded in Cabinet C of Plats, Slides 50 thru 53, as Document Number 432918, being a part of the Northwest Quarter of the Southeast Quarter and part of the Southwest Quarter of the Southeast Quarter of Section 25 and part of the Northwest Quarter of the Northeast Quarter, part of the Southwest Quarter of the Northeast Quarter and part of the Northeast Quarter of the Northeast Quarter of Section 36, all in Township 1 North, Range 18 East of the Fourth Principal Meridian, Village of Genoa City, Walworth County, Wisconsin; EXCEPTING THEREFROM lands lying within Lot 1 of Certified Survey Map 2362 recorded September 30, 1993 in Volume 11, Pages 282 thru 284, being a part of the Southwest Quarter of the Southeast Quarter of said Section 25 in Walworth County, Wisconsin.

Part of Lot 1 of CSM 2362 of SE 1/4 of Section 25

That part of Lot 1 of Certified Survey Map 2362 recorded September 30, 1993 in Volume 11, Pages 282 thru 284, being a part of the Southwest Quarter of the Southeast Quarter of Section 25, in Township 1 North, Range 18 East of the Fourth Principal Meridian, (Town of Bloomfield, now Village of Genoa City), Walworth County, Wisconsin, lying easterly of the easterly right of way line of Corporate Drive per Corporate Ridge Phase 1 according to the plat thereof recorded in Cabinet C of Plats, Slides 50 thru 53, as Document Number 432918, being a part of the Northwest Quarter of the Southeast Quarter and part of the Southwest Quarter of the Southeast Quarter of Section 25 and part of the Northwest Quarter of the Northeast Quarter, part of the Southwest Quarter of the Northeast Quarter and part of the Northeast Quarter of the Northeast Quarter of Section 36, all in Township 1 North, Range 18 East of the Fourth Principal Meridian, Village of Genoa City, Walworth County, Wisconsin.

CURVE TABLE

CURVE NO.	LOT NO.	RADIUS	CHORD LENGTH	CHORD BEARING	ARC LENGTH	CENTRAL ANGLE	TANGENT BEARING
C5	15-16-17	467.00'	119.08'	S21°42'12"W	130.78'	14°48'59"	N39°39'20"E
C6	17	467.00'	119.08'	S21°42'12"W	130.78'	14°48'59"	N39°39'20"E
C7	16	467.00'	119.08'	S21°42'12"W	130.78'	14°48'59"	N39°39'20"E
C8	15	467.00'	119.08'	S21°42'12"W	130.78'	14°48'59"	N39°39'20"E
C9	15	533.00'	132.72'	S27°23'57"W	225.25'	226.97'	24°23'53"
C10	EXT.	533.00'	132.72'	S27°23'57"W	225.25'	226.97'	24°23'53"
C11	EXT.	467.00'	119.08'	S21°42'12"W	130.78'	14°48'59"	N39°39'20"E
C12	EXT.	30.00'	54.21'	S42°11'19"E	45.46'	51.69'	88°31'28"
C13	50	30.00'	54.21'	S42°11'19"E	45.46'	51.69'	88°31'28"
C14	15-14	533.00'	132.72'	S27°23'57"W	225.25'	226.97'	24°23'53"
C15	14	533.00'	132.72'	S27°23'57"W	225.25'	226.97'	24°23'53"
C16	11	30.00'	54.21'	S42°11'19"E	45.46'	51.69'	88°31'28"
C17	72	30.00'	54.21'	S42°11'19"E	45.46'	51.69'	88°31'28"
C18	8	30.00'	54.21'	S42°11'19"E	45.46'	51.69'	88°31'28"
C19	1	30.00'	54.21'	S42°11'19"E	45.46'	51.69'	88°31'28"
C20	EXT.	167.00'	43.31'	S43°31'35.5"E	238.27'	262.46'	90°02'43"
C21	60-59-58	233.00'	54.31'	S43°31'35.5"E	238.27'	262.46'	90°02'43"
C22	58	233.00'	54.31'	S43°31'35.5"E	238.27'	262.46'	90°02'43"
C23	59	233.00'	54.31'	S43°31'35.5"E	238.27'	262.46'	90°02'43"
C24	60	233.00'	54.31'	S43°31'35.5"E	238.27'	262.46'	90°02'43"

NOTES

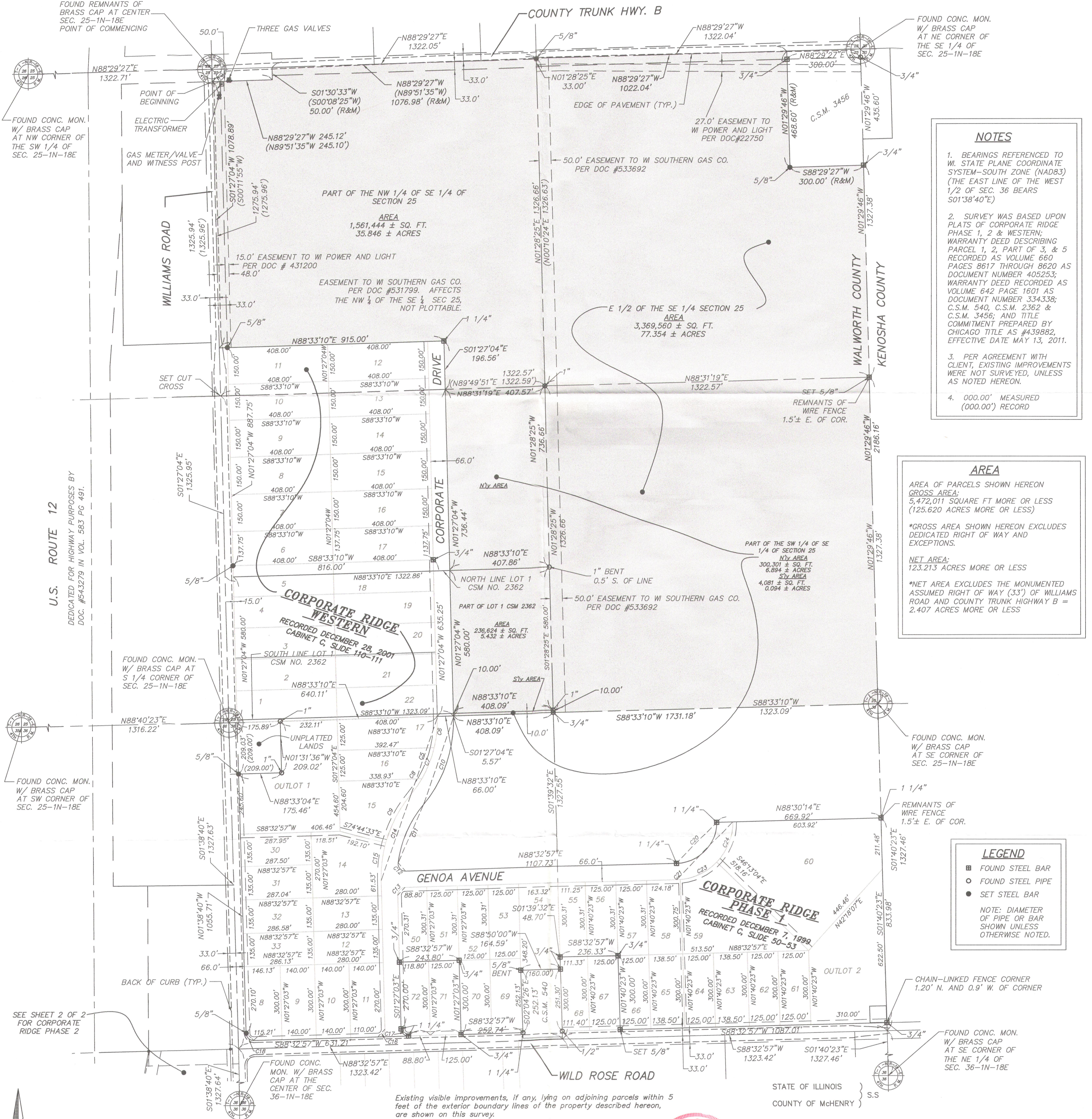
- BEARINGS REFERENCED TO W. STATE PLANE COORDINATE SYSTEM-SOUTH ZONE (NAD83) (THE EAST LINE OF THE WEST 1/2 OF SEC. 36 BEARS S01°38'40"E)
- SURVEY WAS BASED UPON PLATS OF CORPORATE RIDGE PHASE 1, 2 & WESTERN WARRANTY DEED DESCRIBING PARCEL 1, 2, PART OF 3, & 5 RECORDED AS VOLUME 660 PAGES 8617 THROUGH 8620 AS DOCUMENT NUMBER 405253; WARRANTY DEED RECORDED AS VOLUME 642 PAGE 1601 AS DOCUMENT NUMBER 334338; C.S.M. 540, C.S.M. 2362 & C.S.M. 3456; AND TITLE COMMITMENT PREPARED BY CHICAGO TITLE AS #439882, EFFECTIVE DATE MAY 13, 2011.
- PER AGREEMENT WITH CLIENT, EXISTING IMPROVEMENTS WERE NOT SURVEYED, UNLESS AS NOTED HEREON.
- 0.00.00' MEASURED (0.00.00') RECORD

AREA

AREA OF PARCELS SHOWN HEREON
GROSS AREA:
5,472,011 SQUARE FT. MORE OR LESS
(125.620 ACRES MORE OR LESS)
*GROSS AREA SHOWN HEREON EXCLUDES DEDICATED RIGHT OF WAY AND EXCEPTIONS.
NET AREA:
123.213 ACRES MORE OR LESS
*NET AREA EXCLUDES THE MONUMENTED ASSUMED RIGHT OF WAY (33') OF WILLIAMS ROAD AND COUNTY TRUNK HIGHWAY B = 2.407 ACRES MORE OR LESS

LEGEND

- FOUND STEEL BAR
 - FOUND STEEL PIPE
 - SET STEEL BAR
- NOTE: DIAMETER OF PIPE OR BAR SHOWN UNLESS OTHERWISE NOTED.



Existing visible improvements, if any, lying on adjoining parcels within 5 feet of the exterior boundary lines of the property described hereon, are shown on this survey.

NOTE: Only those Building Line Restrictions or Easements shown on a Recorded Subdivision Plat are shown hereon unless the description ordered to be surveyed contains a proper description of the required building lines or easements.
* No distance should be assumed by scaling.
* No underground improvements have been located unless shown and noted.
* No representation as to ownership, use, or possession should be hereon implied.
* This Survey and Plat of Survey are void without original embossed or red colored seal and signature affixed.

Compare your description and site markings with this plat and AT ONCE report any discrepancies which you may find.

STATE OF ILLINOIS
COUNTY OF McHENRY

This is to certify that we have surveyed the premises above described, and that the plat hereon is a representation of the said survey. Said survey is correct to the best of the surveyor's knowledge and belief.

Dated at McHenry, McHenry County Illinois 06/22 A.D. 2011
SEC GROUP, INC., an HR Green Company.

Wisconsin Registered Land Surveyor
No. 2518

License Expires: 01-31-2012

BLK. 174.177 PG. 50-52.34

CLIENT: SHOREWOOD PROPERTIES, INC.
DRAWN BY: CRH CHECKED BY: MRF
SCALE: 1"=200' SEC. 25, 36T. 1N. R. 18E
JOB NO.: 86110158
DATE: 5-27-11
FIELD DATE COMPLETED: 5-15-11
REVISIONS: 06-03-11, 06-22-11
ALL DISTANCES SHOWN IN FEET AND DECIMAL PARTS THEREOF

